



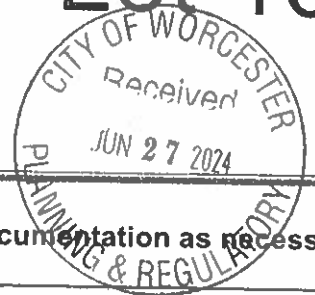
Lot 130

RECEIVED
WORCESTER CITY CLERK

VARIANCE & SPECIAL PERMIT APPLICATION

2024 JUN 27 PM 1:17

CITY OF WORCESTER ZONING BOARD OF APPEALS
455 Main Street, Room 404; Worcester, MA 01608
Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406



Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	9,000	Setback required:		Setback required:	
Square footage provided:	5,000	Setback provided:		Setback provided:	
Relief requested:	4,000	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:	75	Setback required:	8.0	Setback required:	
Frontage provided:	50	Setback provided:	3.8	Setback provided:	
Relief requested:	25	Relief requested:	4.2	Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:	6	Height permitted:		Type of structure:	
Parking provided:	3	Height provided:		Square footage of structure:	
Relief requested:	3	Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:					
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					



VARIANCE & SPECIAL PERMIT APPLICATION

Lot 129A

CITY OF WORCESTER ZONING BOARD OF APPEALS
455 Main Street, Room 404; Worcester, MA 01608
Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	4,000	Setback required:		Setback required:	
Square footage provided:	2,500	Setback provided:		Setback provided:	
Relief requested:	1,500	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:	35	Setback required:	8.0	Setback required:	
Frontage provided:	25	Setback provided:	5.0	Setback provided:	
Relief requested:	10	Relief requested:	3.0	Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:		Relief requested:			
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					



VARIANCE & SPECIAL PERMIT APPLICATION

Lot 129E

CITY OF WORCESTER ZONING BOARD OF APPEALS
455 Main Street, Room 404; Worcester, MA 01608
Phone 508-799-1400 Ext. 31440 - Fax 508-799-1406

Fill in information for the Variances (s) you are applying for. Attach additional documentation as necessary.

Lot Area		Front Yard Setback		Rear Yard Setback	
Square footage required:	4,000	Setback required:		Setback required:	
Square footage provided:	2,500	Setback provided:		Setback provided:	
Relief requested:	1,500	Relief requested:		Relief requested:	
Frontage		Side Yard Setback		Exterior Side Yard Setback	
Frontage required:	35	Setback required:	8.0	Setback required:	
Frontage provided:	25	Setback provided:	5.0	Setback provided:	
Relief requested:	10	Relief requested:	3.0	Relief requested:	
Off-street Parking/Loading		Height		Accessory Structure 5-foot Setback	
Parking required:		Height permitted:		Type of structure:	
Parking provided:		Height provided:		Square footage of structure:	
Relief requested:		Relief requested:		Relief requested:	
Loading required:		Other Variances			
Loading provided:		Relief requested:			
Relief requested:		Zoning Ordinance Article & Section:			
Signs		Requirement:			
Area permitted:		Provided:			
Area provided:		Indicate if Variances are being requested for more than one structure or more than one lot. Only complete the sections which pertain to the Variances (s) you are applying for.			
Relief requested:					
Height permitted:					
Height provided:					
Relief requested:					
Setback permitted:					
Setback provided:					
Relief requested:					

TYPE OF SPECIAL PERMIT (check the Special Permit you are requesting and describe what you are requesting)

1. Extension, Alteration or Change of a Privileged Pre-existing, Nonconforming Structure and/ or Use (Article XVI, Section 4)
2. Residential Use allowed only by Special Permit (Article IV, Section 2, Table 4.1)
3. Non-Residential Use allowed only by Special Permit (Article IV, Section 2, Table 4.1)
4. Non-Accessory Sign (Article IV, Section 6)
5. Residential Conversion (Article IV, Section 9)
6. Placement of Fill/Earth Excavation (Article IV, Section 5)
7. Modification of Parking/Loading Requirements (Article IV, Section 7)
8. Modification of Landscaping Requirements for Parking/Loading (Article IV, Section 7)
9. Other Special Permit (Describe Special Permit sought):

1. Assessor's **ADDRESS OF SUBJECT PROPERTY:** 16 Carver Street
(List property subject to the application and include any lot numbers. Please note: The street number may be different than the Assessor's address).

2. Is this property known by any other address: No.

3. **OWNER OF RECORD:** YJ Properties LLC
(The owner of record is the person or entity who owns title to the property as of today's date)

4. Address (es) of owner of record is /are 29 Park Street, Auburn, MA 01501

5. Worcester District Registry of Deeds (WDRD) Book(s) 67587, Page(s) 245
(List Book and Page number of deed filed for the subject property as recorded at the WDRD)

6. City of Worcester Assessor's Office Map 17 Block 010 Lot 48 + 50
(List MBL number for the subject property as listed at Assessor's Office)

7. **NAME OF APPLICANT(S):** YJ Properties LLC

8. Address of Applicant: 29 Park Street, Auburn, MA 01501

9. Telephone: c/o (508) 755-5655

10. Email: c/o djo@oneilbarrister.com

11. Check if you are an: owner (s) , lessee (s) , optionee (s) (If you are not the owner of the subject property and are a lessee or optionee, it is recommended that you provide supporting information such as a lease or a purchase and sale agreement that shows your interest in the property.)

12. Zoning district(s) of the property (Indicate if more than one zoning district and any zoning overlay districts):
RL-7

13. Describe what is presently located on the property (Use as much detail as possible including all uses and square footage of each use):
Existing three family dwelling on a 10,000 square foot (double lot) with detached two car garage.

14. The applicant seeks to (Describe what you want to do on the property in as much detail as possible):
Demolish the two car garage, re-subdivide the property into two lots, and construct a single family semi-detached dwelling on the extra lot created through the subdivision.

15. Such a use is permitted only by the City of Worcester Zoning Ordinance under Article (Insert Article, Section (s) of the Zoning Ordinance which permits the proposed used of the property):

Article II, Section 6 A 3; Article XVI, Section 4; & Article IV, Section 7

16. Are you aware if this property has been previously granted approvals from any City Board or Commission?
If so, please list (Provide dates of previous approvals, book and page numbers and/or certificate numbers of any recorded decisions and/or recorded/registered land. Also, please provide copies of previous recorded decisions):

Unknown.

17. Have you applied for or are you aware if other applicants have applied for a Building Permit for this site and been refused for non-compliance with the Zoning Ordinance (e.g. a cease and desist order has been issued)? If so, explain:

No.

18. List any additional information relevant to the Variance (s) and Special Permit (s):

Premises consist of two 5,000 square foot lots on original subdivision of the area recorded in Worcester District Registry of Deeds Plan Book 10 Plan 22 (copy attached).

VARIANCE FINDINGS OF FACT

Complete the following questions. Your responses should provide justifications as to why the requested Variance(s) should be granted. Attach additional documentation as necessary.

1. Describe how a literal enforcement of the provision of the City of Worcester Zoning Ordinance would involve a substantial hardship, financial or otherwise, to the petitioner or appellant:
A literal enforcement of the provisions of the Zoning Ordinance would preclude the re-subdivision of the property into two lots and deny the Applicant the right to make full use of the premises as originally intended and present a financial hardship for the Applicant.

2. Describe how the hardship is owing to circumstances relating to the soil conditions, shape, and/or topography of the land or structures and how the hardship especially affects said land or structures, but does not affect generally the zoning district in which it is located:
The existing structure on the property is situated on the lot in a manner which fails to fully utilize the area available for residential use leaving excess area available for development. Most of the other lots in the surrounding area support two family dwellings on 5,000 square foot lots which is consistent with the original subdivision plan for the area and do not have the excess area such as the property in question.

3. Describe how desirable relief may be granted without detriment to the public good and without nullifying or substantially derogating from the intent or purpose of the City of Worcester Zoning Ordinance:
The Applicant proposes to make better use of the land area available for housing by creating two new dwelling units with required off-street parking by demolishing the garage structure on site to free up additional area. The new off-street parking proposed for the existing three family will replace three of the four spaces that current exist with ample on-street parking available to make up the difference. The proposed new structure will be similar in terms of zoning compliance to surrounding properties and will not be detrimental to the neighborhood nor derogate from the intent of the Zoning Ordinance.

4. Describe how the dimensional variance as it relates to floor space, bulk, number of occupants or other relevant measures, if granted, shall be no greater than the minimum necessary to provide relief from the statutory hardship:
The requested relief is the minimum required to allow for the proposed new structure to be built on the additional lot created by the division of the property into two lots. No changes aside from changes to off-street parking arrangements are proposed to the existing structure.

SPECIAL PERMIT FINDINGS OF FACT

In the spaces below explain how the adverse effects of the proposed use will not outweigh its beneficial impacts to the City with respect to each of the following considerations per Article II, Section 6(A)(2) of the Zoning Ordinance. (Attach additional supporting documentation as necessary.)

1. Social, economic or community needs that are served by the proposal:
Proposal will add two additional housing units to the City's housing stock to help meet the demand for same and will provide employment for local construction trades in the process.

2. Traffic flow and safety, including access, parking and loading areas:
No adverse impacts are anticipated given the limited scope of the proposed development. The parking requirements for the two additional dwelling proposed will be satisfied on site with adequate on-street parking available to make up the shortfall for the existing three family dwelling.

3. Adequacy of utilities and other public services:
Existing utilities and other public services are believed to be adequate for the proposed use.

4. Neighborhood character and social structure:
Construction proposed is consistent with the surrounding neighborhood density and will blend in with the neighborhood character and social structure.

5. Impacts on the natural environment:
Applicant proposes the redevelopment of an existing developed site. Minimal impacts on the natural environment are therefore anticipated.

6. Potential fiscal impact, including city services needed, tax base, and employment:
Proposal will add to the City's tax base with minimal demands on additional City services and will provide employment for construction trades during the construction phase.

WHEREFORE, the applicant(s) requests that this Board grant the special permit (s) as requested above.

By: [Signature] Attorney For
(Signature of Applicant or Applicant's Agent)
If more than one applicant, all applicants must fill out information.

YJ Properties LLC
(Name of Applicant)

29 Park Street, Auburn, MA 01501
(Address)

(508) 755-5655
(Contact Phone Number)

c/o djo@oneilbarrister.com
(Email)

June 11, 2024
(Date)

By: [Signature] Attorney For
(Signature of Property Owner or Owner's Agent)
If more than one property owner, all owners must fill out information.

YJ Properties LLC
(Name of Property Owner)

29 Park Street, auburn, MA 01501
(Address)

(508) 755-5655
(Contact Phone Number)

c/o djo@oneilbarrister.com
(Email)

June 11, 2024
(Date)

SUPPLEMENTARY QUESTIONS FOR SPECIAL PERMITS ONLY

Complete the requested information for the Special Permit requested. Attach additional documentation as necessary. Only complete the sections which pertain to the Special Permit (s) you are applying for.

Extension, Alteration or Change of a Privileged Pre-existing, Nonconforming Structure (Article XVI, Section 4)

1. Describe what is currently nonconforming about this structure (list specific dimensional nonconformities)
The existing three family structure is allowed only by Special Permit in an RL-7 zone. Building meets area and frontage requirements but does not satisfy all current building set back requirements.
2. Indicate how long the nonconforming aspects of the structure have been in existence:
Applicant believes that nonconforming aspects of the existing structure have been in existence since the time of construction and predate current zoning requirements.
3. At the time of construction, did the structure meet applicable zoning requirements? (Check with the zoning ordinance, as amended, that would have been in effect at the time of construction. Past zoning ordinances are available for research at the City Clerk's office. Past zoning maps are available at the Division of Planning and Regulatory Services)
Applicant believes construction predates current zoning requirements but satisfied applicable requirements in effect at the time of construction.
4. Describe the proposed extension, alteration or change and the total square footage of any physical expansion:
Proposal will reduce lot area and frontage, alter off street parking, and effect side yd setback compliance.

5. Explain how the extension, alteration, or change itself complies with the current Ordinance requirements:
No changes to the existing three family structure are proposed with the exception of a side yard set back and off street parking set back requirements. Set backs proposed are consistent with surrounding area.
6. Indicate the number of off-street parking spaces currently provided and to be provided for the proposed structure as extended, altered or changed: Note: In residential districts, the structure as extended, altered or changed shall meet the off-street parking requirements of the zoning ordinance.
The property has four off-street spaces. Re-design will replace three of these spaces through the creation of a new parking area with adequate on-street parking available to make up for the one space lost. New structure will provide two off-street spaces for each unit in compliance with off-street parking requirements
7. Explain how the structure as extended, altered or changed will not be substantially more detrimental to the neighborhood than the existing structure:
Existing neighborhood is based on the original subdivision plan for the area which established grid of 5,000 sq. ft. lots with 50 ft. of frontage. Proposal is consistent and will blend in with the original design.

**Extension, Alteration or Change of a Privileged Pre-existing, Nonconforming Use
(Article XVI, Section 4)**

1. Describe what is currently nonconforming about this use:
2. Indicate how long the nonconforming use has been in existence? What year did the use begin? (Check with the zoning ordinance, as amended, that would have been in effect at the time of construction. Past zoning ordinances are available for research at the City Clerk's office. Past zoning maps are available at the Division of Planning and Regulatory Services)
3. At the time the use was initiated, was the use allowed under the then applicable Zoning Ordinance?
4. Describe the proposed extension, alteration or change of use and the total square footage to be utilized for the use
5. Explain how the extension, alteration, or change itself complies with the current Ordinance requirements:
6. Indicate the number of off-street parking spaces currently provided and to be provided for the proposed structure as extended, altered or changed: Note: In residential districts, the use as extended, altered or changed shall meet the off-street parking requirements of the zoning ordinance.
7. Explain how the use as extended, altered or changed will not be substantially more detrimental to the neighborhood than the existing use:

**Placement of Fill/Earth Excavation
(Article IV, Section 5)**

1. Indicate whether the Special Permit is for Placement of Fill or Earth Excavation:
2. Attach documentation showing proposed measures to protect pedestrians and vehicles.
3. Provide a proposed timeline for completion of placement of fill.
4. Attach documentation from the Director of Public Health and the Conservation Commission as outlined in the City of Worcester Zoning Ordinance Article IV, Section 5.
5. Attach a site plan with all required information in support of the application per the City of Worcester Zoning Ordinance Article IV, Section 5.

**Modification of Parking/Loading Requirements
(Article IV, Section 7)**

1. Indicate what relief is being sought under the Special Permit:
Applicant seeks relief from driveway property line setback requirement to allow for new parking area for existing three family dwelling.
2. If applicable, indicate locations, square footages, and dimensions of relief sought under the Special Permit:
Applicant seeks to eliminate three foot setback requirement for new driveway proposed for existing three family dwelling.
2. If applicable, provide number of parking/loading spaces required and relief requested through the Special Permit:
N/A. Variance requested for number of off-street parking spaces to be provided.

Other Special Permits

1. Describe Special Permit sought and provide relevant details on the plan of land and rendering. Provide square footage and height of any structures and indicate percentage of lot structure will occupy:

CERTIFICATION OF COMPLIANCE WITH WORCESTER REVISED ORDINANCES GOVERNING REVENUE COLLECTION

***Note: This form must be completed and signed by both the applicant(s) and owner(s) of the property certifying payment of all local taxes, fees, assessments, betterments, or any other municipal charges of any kind. Failure to include a fully completed certification form with the application shall result in the application being deemed incomplete and ineligible for further processing by the Zoning Board of Appeals.**

Pursuant to Massachusetts General Law, Chapter 40, Section 57 and the City of Worcester General Revised Ordinance, Chapter 11, Section 26-28, the undersigned applicant and all parties having an ownership interest therein, hereby certify, under the pains and penalties of perjury, that the applicant(s) and owner(s) have complied with the laws of the Commonwealth of Massachusetts and the City of Worcester regarding payment of all local taxes, fees, assessments, betterments or any other municipal charges of any kind.

(Give first and last names in full. In case of a corporation give names of President, Treasurer and Manager; and in case of firms, give names of individual members.)

(1) If a Proprietorship or Single Owner of residential property:

Name of Owner _____

Business Address _____

Home Address _____

Business Phone _____ Home Phone _____

Signature of owner (certifying payment of all municipal charges):

_____ Date: _____

(2) If a Partnership or Multiple Owners of residential property:

Full names and address of all partners

Printed Names

Addresses

Business Address _____

Business Phone _____

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

_____ Date: _____
_____ Date: _____
_____ Date: _____
_____ Date: _____

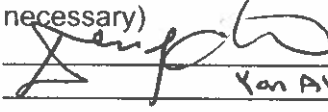
(3) If a Corporation:

Full Legal Name YJ Properties LLC
State of Incorporation Massachusetts
Principal Places of Business Worcester
Place of Business in Massachusetts 29 Park Street, Auburn, MA 01501

Printed Names of Officers of Corporation:	Title
<u>Yan Alperin</u>	<u>Manager</u>
<u>Jessica A. Alperin</u>	<u>Manager</u>
_____	_____
_____	_____

Owners of Corporation:	Address	% of stock
Printed Names		
<u>Yan & Jessica A. Alperin</u>	<u>29 Park St. Auburn, MA 01501</u>	<u>100%</u>
_____	_____	_____
_____	_____	_____

Signature of all owners of property (certifying payment of all municipal charges -attach multiple pages if necessary)

 Attorney For Date: 6/11/24
Yan Alperin & Jessica A. Alperin Date: _____
Alperin Date: _____
Date: _____

(4) If a Trust:

Name of Trust	Address
_____	_____
Business Address	
_____	_____
Printed Names of Trustees:	
_____	_____
_____	_____
_____	_____

Printed Names of Beneficiaries:	Address
_____	_____
_____	_____
_____	_____

Signature of trustees of property (certifying payment of all municipal charges -attach multiple pages if necessary)

_____ Date: _____
_____ Date: _____
_____ Date: _____
_____ Date: _____

(5) Signature of Applicant (if different from owner, certifying payment of all municipal charges):

Printed Name of Applicant: _____
Signature of Applicant: _____ Date: _____

Edward M. Augustus, Jr.
CITY MANAGER



Timothy J. McGourthy
CHIEF FINANCIAL OFFICER

Samuel E. Konieczny
CITY ASSESSOR

CITY OF WORCESTER
ADMINISTRATION & FINANCE

Certified Abutters List

A list of 'parties in interest' shall be attached to the application form and shall include the names and addresses. All such names and addresses shall be obtained from the most recent applicable tax list maintained by the City's Assessing Department. The Assessing Department certifies the list of names and addresses.

Total Count: 58

Parcel Address: 16 CARVER ST
WORCESTER, MA 01604
Assessor's Map-Block-Lot(s): 17-010-48+50

Owner: YJ PROPERTIES LLC
482 SOUTHBRIDGE ST #306
AUBURN, MA 01501

Owner Mailing: _____

Petitioner (if other than owner): DONALD J O'NEIL
Petitioner Mailing Address: 688 PLEASANT ST
WORCESTER, MA 01602
508-755-5655

Planning: _____ Zoning: X Liquor License: _____ ConComm: _____
Historical: _____ Cannabis: _____ Other: _____

17-010-19+21	LAPOMARDO ROCKY J	391 4TH AVE NORTH	NAPLES FL 34102
17-010-39+41	TIMBERWOLD PROPERTIES LLC	0134 MAIN ST	RUTLAND MA 01543
17-010-10+12	IACCARINO JOSEPH M + EDITH L	0007 CARVER ST	WORCESTER MA 01604
17-011-29+30	NOBREGA ROBERT	0011 FRANK ST	WORCESTER MA 01604
17-010-48+50	YJ PROPERTIES LLC	0482 SOUTHBRIDGE ST #306	WORCESTER MA 01501
17-011-41+45	17 FRANK STREET LLC	0014 BAILIN DR	WORCESTER MA 01604
17-010-53+55	BAROUD STEVEN M + BARRY J	0018 FRANK ST	WORCESTER MA 01604
17-011-49+53	SUI XIANGZHEN	0023 FRANK ST	WORCESTER MA 01604
17-011-57+61	CONCORDIA DAVID J + LUCY M	55 CARTER ROAD	WORCESTER MA 01609
17-010-61+63	CHARAMELLA MARCO VINCENT +	0881 WORCESTER ST SUITE 1 #1057	NATICK MA 01760
17-010-45+47	MA YUNSHENG + ZHANG	0572 LINDEN ST	BOYLSTON MA 01505
17-010-00030	SHI HONGYI + LIU	2347 HASTINGS DR	BELMONT CA 94002
17-010-00029	PERRONE FRANK J + MARIE G	0026 NATICK ST	WORCESTER MA 01604
17-010-00031	DEANE JOY-ANN S	0050 SHREWSBURY ST	WEST BOYLSTON MA 01583
17-011-00022	RODRIGUEZ MIGUELINA +	0008 RENA ST	WORCESTER MA 01604
17-011-00021	LUONG ZINIA T	0007 FRANK ST	WORCESTER MA 01604
17-010-32-35	HESS RETAIL STORES LLC	539 SOUTH MAIN ST	FINDLAY OH 45840

17-010-01-03	D'ALONZO HELEN TRUSTEE +	0310 BELMONT ST	WORCESTER MA 01604
17-011-00009	CASTAGNA ALAN	0001 FRANK ST	WORCESTER MA 01604
17-010-00036	RENATUS I LLC	P.O. BOX 810	CANANDAIGUA NY 14424
17-011-00018	ALFEGO MICHAEL J	0057 WARREN ST	BOYLSTON M 01505
17-011-00017	PIEDRASANTA ERICK	0104 WINDFIELD UNIT B	WORCESTER MA 01602
17-010-00009	FLEMING KYLE SCOTT	6 NATICK STREET	WORCESTER MA 01604
17-011-00026	BROWN YVONNE +	0020 HIGHLAND RD	BELMONT MA 01604
17-011-00025	SMITH CAROLYN J TRUSTEE	0009 FRANK ST	WORCESTER MA 01604
17-010-00046	BANAT JIHAD A	12130 CRANSTON WAY	BRADENTON FL 34211
17-010-00015	DELLOSTRITTO PETER U + KRISTINE P	0005 BOOTH RD	AUBURN MA 01501
17-011-00034	CATINO DOMENIC J	0014 RENA ST	WORCESTER MA 01604
17-011-00033	VILLANI LUCIANO M + ROSANNA TRUSTEE	0013 FRANK ST	WORCESTER MA 01604
17-010-00064	ARTIS DAMAAR	0014 FRANK ST	WORCESTER MA 01604
17-011-00038	NOURY MOSTAFA	0025 WEST MAIN ST	NORTHBOROUGH MA 01532
17-011-00037	LYNCH JOHN M + PHYLLIS L	00004 TANGLEWOOD RD	PAXTON MA 01612
17-010-00051	ARCINIEGAS RODRIGO +	0016 FRANK ST	WORCESTER MA 01604
17-011-00042	MONFREDA ANNA(LIFE ESTATE)	0018 RENA ST	WORCESTER MA 01604
17-010-00052	LAPOMARDO ROCKY	391 4TH AVE NORTH	NAPLES FL 34102
17-011-00046	TAYLOR MARINA	0029 WILDFLOWER DR	SUTTON MA 01590
17-010-00023	LAPOMARDO ROCKY J	0391 4TH AVE N	NAPLES FL 34102
17-011-00050	ABBASCIA COREY R	0022 RENA ST	WORCESTER MA 01604
17-010-00057	PASCUCCI JANICE M TRUSTEE	40 APPLETON STREET	EVERETT MA 02149
17-010-00056	CHARAMELLA STEPHEN M + LINDA J	0047 BEECHING ST	WORCESTER MA 01602
17-011-00054	TRAN TRAN THI NGOC	0024 RENA ST	WORCESTER MA 01604
17-010-00059	24 FRANK STREET LLC	0007 DEVENS RD	WORCESTER MA 01606
17-010-00060	CHARAMELLA MARCO V +	0881 WORCESTER ST SUITE 1 #1057	NATICK MA 01760
17-010-00028	SAGER BETH E + BRUCE	0002 WHITTIER RD	LEXINGTON MA 02420
17-010-00062	ASTACIO AGUSTIN	0028 CARVER ST	WORCESTER MA 01604
17-011-00013	SENOSK TROY W + MARTHA M	0003 FRANK ST	WORCESTER MA 01604
17-006-00005	CARELLI MICHAEL C	7950 ETIWANDA AVENUE APT. 6206	RANCHO CUCAMONGA CA 91739
17-006-00007	WYSE SHAWN M TRUSTEE	0020 FLINT POND RD	WORCESTER MA 01604
17-010-00043	LATORRE FRANCES A	9 BITTERSWEET CIRCLE	SHREWSBURY MA 01545
17-010-00042	LEWMAN TIMOTHY +	0008 CARVER ST	WORCESTER MA 01604
17-010-00044	ALERA ALEXANDER KEITH + ROBERTA R	0047 WESTVIEW AVE	SHREWSBURY MA 01545
17-010-00004	INTEGRETAS LLC	PO BOX 810	CANANDAIGUA NY 14424
17-010-00020	ASSAD JOHN	0017 CARVER ST	WORCESTER MA 01604
17-010-00026	LAPOMARDO ROCKY J	0391 4TH AVE NORTH	NAPLES FL 34102
17-010-00025	SOLITRO ANTONIO + KAREN ANN	22 NATICK ST	WORCESTER MA 01604
17-010-00014	GODIMIS ELAINE A TRUSTEE	0027 QUAIL RUN	HOLDEN MA 01520
17-010-00011	NIE YPRIU + HDUNG	0008 NATICK ST	WORCESTER MA 01604
17-010-00013	NIE YPRIU + HDUNG	0008 NATICK ST	WORCESTER MA 01604

This is to certify that the above is a list of abutters to Assessor's Map-Block-Lot's 17-010-48+50 as cited above.
Certified by:


Signature

04/24/2024
Date

Edward M. Augustus, Jr.
CITY MANAGER

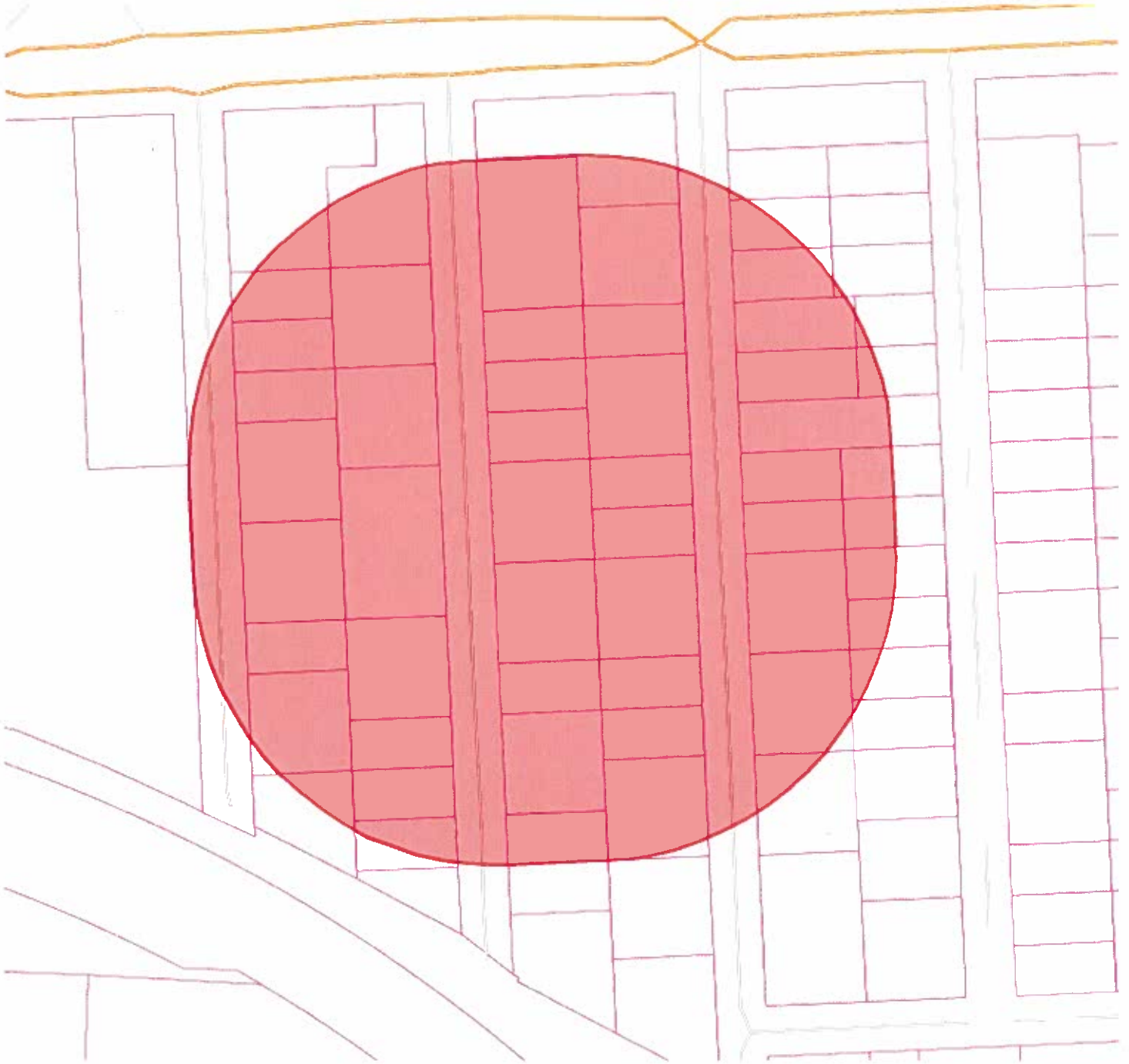


Timothy J. McGourthy
CHIEF FINANCIAL OFFICER

Samuel E. Konieczny
CITY ASSESSOR

CITY OF WORCESTER
ADMINISTRATION & FINANCE

Abutters Map




NOTES:
 THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY FINDINGS SUCH A REPORT MIGHT DISCLOSE.

REFERENCES:
 DEED BOOK 67487 PAGE 245
 PLAN BOOK 10 PLAN 22
 ASSESSORS REFERENCE: 17-010-48+50

ZONING:
 RL-7

PARKING:
 SPECIAL PERMIT REQUESTED FOR MODIFICATION OF OFF STREET PARKING REQUIREMENT FOR EXISTING THREE FAMILY (#16)

ALL ABOVE DEEDS AND PLANS ARE RECORDED WITH THE WORCESTER DISTRICT REGISTRY OF DEEDS.

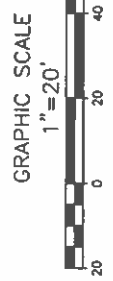
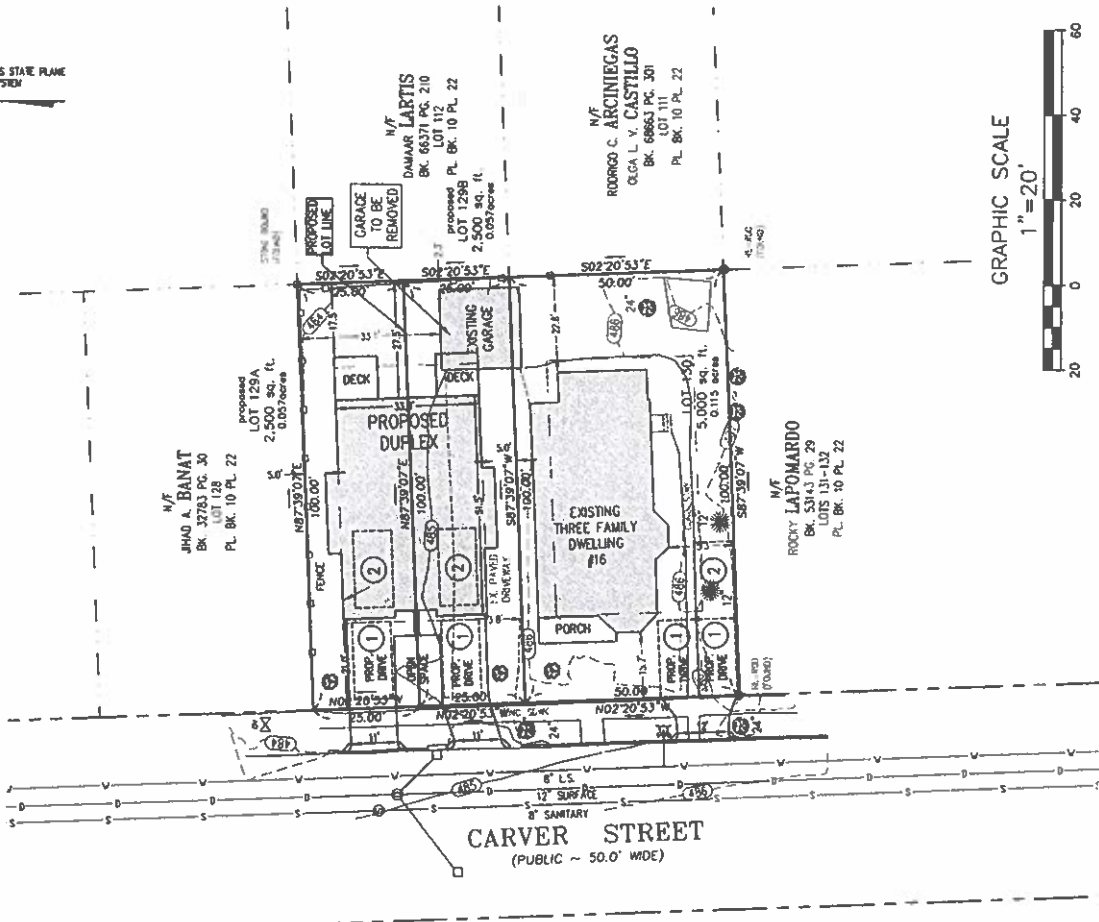
REGISTERED LAND SURVEYOR

 June 11, 2024
 DATE

B&R SURVEY, INC.
 100 GROVE STREET
 WORCESTER, MA 01605
 TEL 508-756-8579
 FAX 508-421-4797

PLAN FOR VARIANCE & SPECIAL PERMIT
 LAN'D OWNED BY:
 YJ PROPERTIES LLC
 16 CARVER STREET
 WORCESTER, MASSACHUSETTS
 SCALE: 1"=20'
 DATE: JUNE 11, 2024
 FIELD: R/S
 CALC: RPB
 CHECK: RUS
 SHEET 1 OF 1
 JOB #24-056

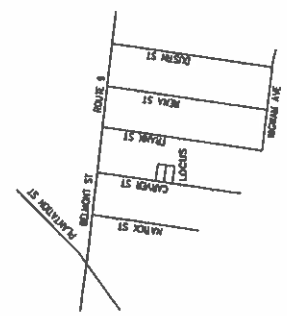


ZONE: RL-7		EXISTING THREE FAMILY (#16):	
REQUIRED:	PROPOSED:	REQUIRED:	PROPOSED:
MIN. AREA: 4,000 S.F.	2,500 S.F.	MIN. AREA: 9,000 S.F.	5,000 S.F.
MIN. FRONT YARD AREA: 252 S.F.	252 S.F.	MIN. FRONT YARD AREA: 252 S.F.	252 S.F.
MIN. FRONT SETBACK: 20'	20'	MIN. FRONT SETBACK: 20'	20'
MIN. SIDE SETBACK: 5'	5.0'	MIN. SIDE SETBACK: 5'	5.0'
MIN. REAR SETBACK: 20'	27.5'	MIN. REAR SETBACK: 20'	22.8'
MAX. HEIGHT: 35'	43.5'	MAX. HEIGHT: 35'	0



IMPERVIOUS MATERIAL:
 LOT 129A: FRONT YARD AREA: 525 S.F.
 IMPERVIOUS MATERIAL: 252 S.F.
 % COVERAGE: 252/525 = 48.0% (50% MAX.)
 LOT 129B: FRONT YARD AREA: 525 S.F.
 IMPERVIOUS MATERIAL: 252 S.F.
 % COVERAGE: 252/525 = 48.0% (50% MAX.)
 LOT 130: FRONT YARD AREA: 680 S.F.
 IMPERVIOUS MATERIAL: 251 S.F.
 % COVERAGE: 251/680 = 37.0% (50% MAX.)

PROPOSED ALB & EAB RESISTANT TREE



NEW CONSTRUCTION:

16 CARVER DUPLEX

OWNER
 Y.J. PROPERTIES, LLC.
 MR. YAN ALPERIN
 WORCESTER, MA 01604
 YANALPERIN@MAIL.COM
 (T) 617.319.4252

ARCHITECT
 DIXON SALO ARCHITECTS, INC.
 300 MAIN STREET, FIRST FLOOR
 WORCESTER, MA 01608
 MR. JESSE HILGENBERG
 JHILGENBERG@DIXONSALOARCHITECTS.COM
 (T) 508.755.0533

LIST OF DRAWINGS

NO.	DATE	DESCRIPTION
1	06/16/2024	PERMITS
2	06/16/2024	FOUNDATION
3	06/16/2024	FLOOR PLAN
4	06/16/2024	SECTION
5	06/16/2024	EXTERIOR ELEVATION
6	06/16/2024	INTERIOR ELEVATION
7	06/16/2024	MECHANICAL
8	06/16/2024	ELECTRICAL
9	06/16/2024	PLUMBING
10	06/16/2024	LANDSCAPE
11	06/16/2024	CONCRETE
12	06/16/2024	PAINT
13	06/16/2024	FINISH
14	06/16/2024	GENERAL NOTES



PROJECT NO. 24-001

DATE: 06/16/2024

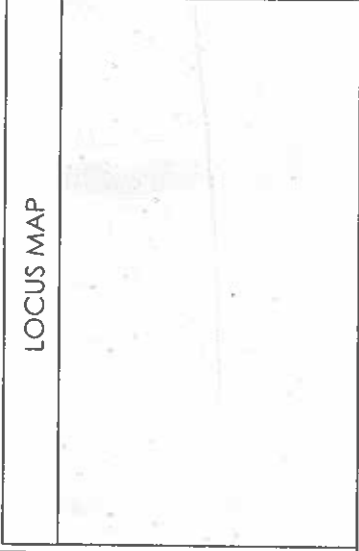
SCALE: AS SHOWN

PROJECT: 16 CARVER DUPLEX

DATE	06/16/2024
BY	JHILGENBERG
CHECKED	JHILGENBERG
PROJECT	16 CARVER DUPLEX
CLIENT	Y.J. PROPERTIES, LLC.
LOCATION	300 MAIN STREET, WORCESTER, MA 01608
SCALE	AS SHOWN

T-1.0

LEGEND		
ABBREVIATIONS	SYMBOLS	DRAWING SYMBOLS
<p>16 CARVER DUPLEX</p> <p>300 MAIN STREET, WORCESTER, MA 01608</p> <p>Y.J. PROPERTIES, LLC.</p> <p>MR. YAN ALPERIN</p> <p>YANALPERIN@MAIL.COM</p> <p>(T) 617.319.4252</p> <p>DIXON SALO ARCHITECTS, INC.</p> <p>300 MAIN STREET, FIRST FLOOR</p> <p>WORCESTER, MA 01608</p> <p>MR. JESSE HILGENBERG</p> <p>JHILGENBERG@DIXONSALOARCHITECTS.COM</p> <p>(T) 508.755.0533</p>	<p>16 CARVER DUPLEX</p> <p>300 MAIN STREET, WORCESTER, MA 01608</p> <p>Y.J. PROPERTIES, LLC.</p> <p>MR. YAN ALPERIN</p> <p>YANALPERIN@MAIL.COM</p> <p>(T) 617.319.4252</p> <p>DIXON SALO ARCHITECTS, INC.</p> <p>300 MAIN STREET, FIRST FLOOR</p> <p>WORCESTER, MA 01608</p> <p>MR. JESSE HILGENBERG</p> <p>JHILGENBERG@DIXONSALOARCHITECTS.COM</p> <p>(T) 508.755.0533</p>	<p>16 CARVER DUPLEX</p> <p>300 MAIN STREET, WORCESTER, MA 01608</p> <p>Y.J. PROPERTIES, LLC.</p> <p>MR. YAN ALPERIN</p> <p>YANALPERIN@MAIL.COM</p> <p>(T) 617.319.4252</p> <p>DIXON SALO ARCHITECTS, INC.</p> <p>300 MAIN STREET, FIRST FLOOR</p> <p>WORCESTER, MA 01608</p> <p>MR. JESSE HILGENBERG</p> <p>JHILGENBERG@DIXONSALOARCHITECTS.COM</p> <p>(T) 508.755.0533</p>





ARCHITECTS
 1000 WEST 10TH AVENUE
 SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1100
 FAX: 303.733.1101
 WWW.DIXONSALO.COM

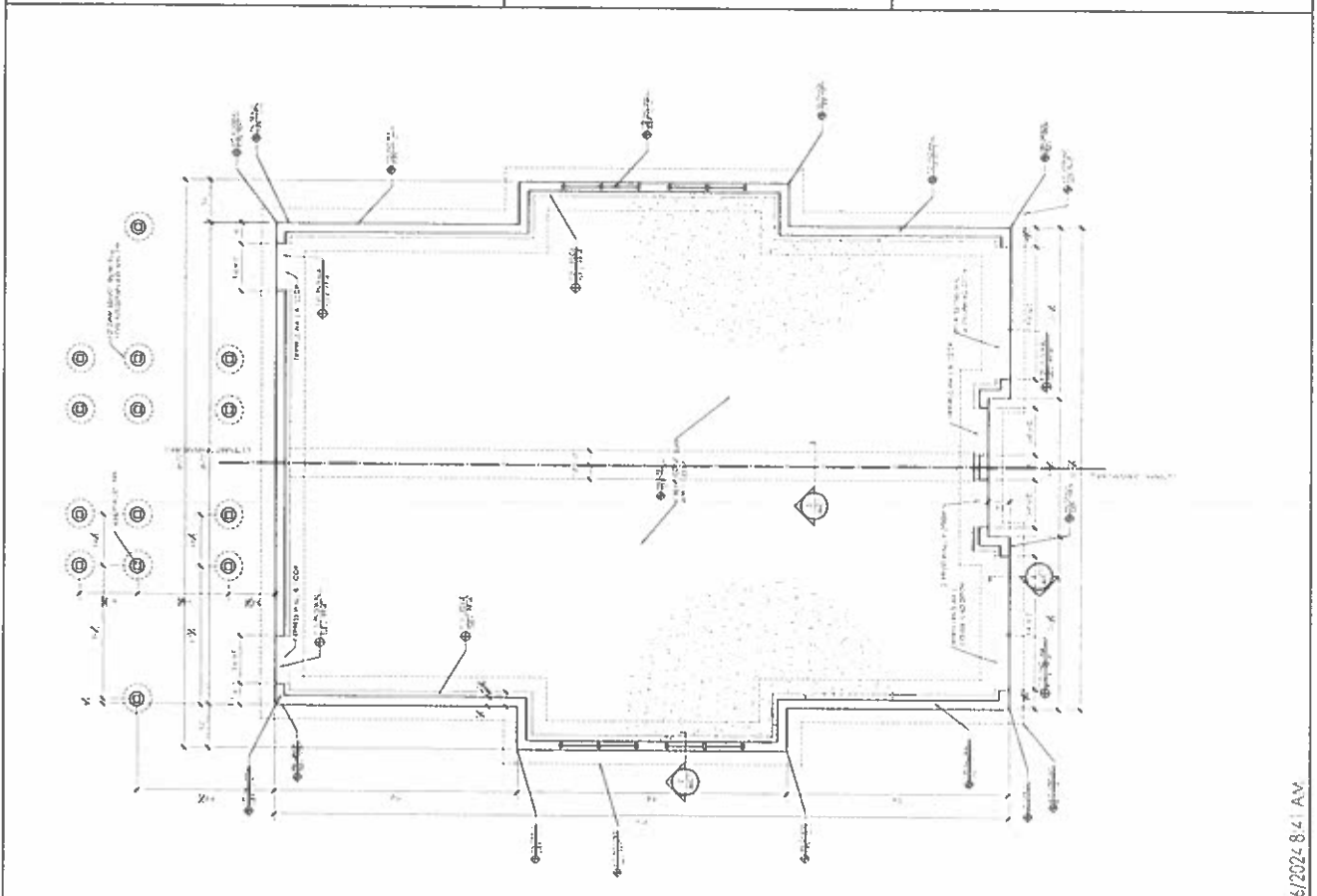
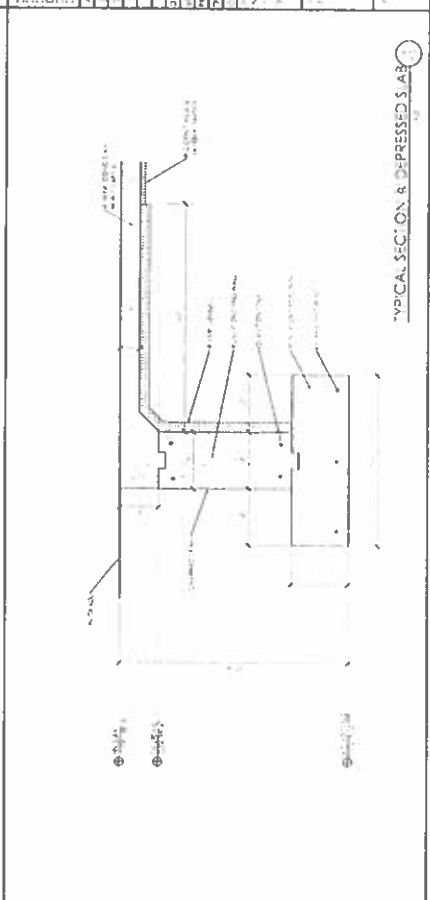
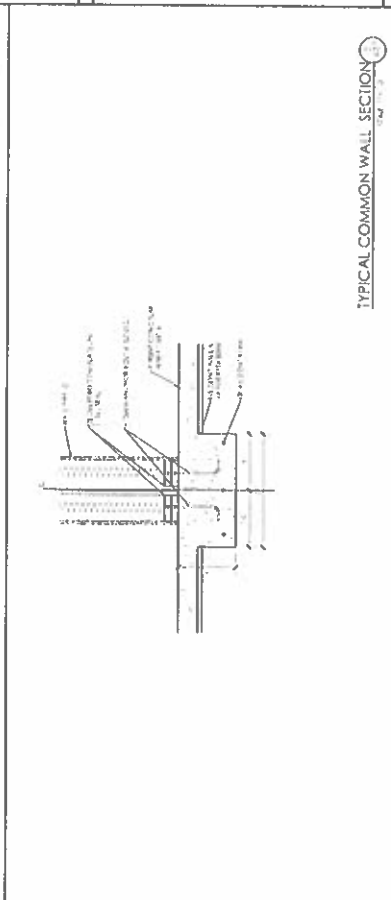
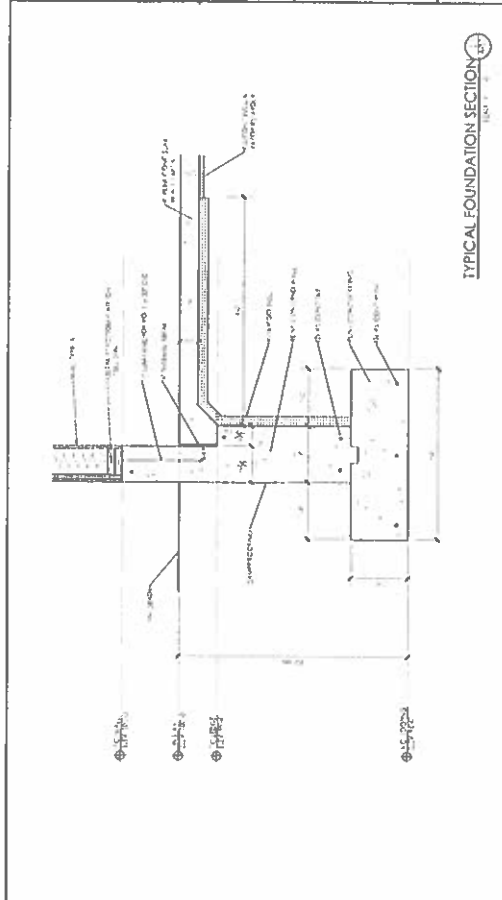
PROJECT NAME
 PROJECT NUMBER
 PROJECT LOCATION

DATE
 DRAWN BY
 CHECKED BY
 PROJECT MANAGER

GENERAL INFORMATION
 CONTRACT NUMBER
 CLIENT NAME

DATE: 06/22/2024
 BY: J. SALO
 CHECKED: M. SALO
 PROJECT: 24-0001
 CLIENT: [REDACTED]

DATE	06/22/2024
BY	J. SALO
CHECKED	M. SALO
PROJECT	24-0001
CLIENT	[REDACTED]
PROJECT MANAGER	[REDACTED]
ARCHITECT	DIXON SALO ARCHITECTS
ADDRESS	1000 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202
PHONE	303.733.1100
FAX	303.733.1101
WWW	WWW.DIXONSALO.COM





ARCHITECTS
 PROJECT NAME
 PROJECT NUMBER

GENERAL CONTRACTOR
 PROJECT LOCATION
 PROJECT ADDRESS

DATE	06/10/2024
PROJECT	PROJECT NAME
CLIENT	CLIENT NAME
DESIGNER	DESIGNER NAME
SCALE	SCALE
DATE	06/10/2024
PROJECT	PROJECT NAME
CLIENT	CLIENT NAME
DESIGNER	DESIGNER NAME
SCALE	SCALE

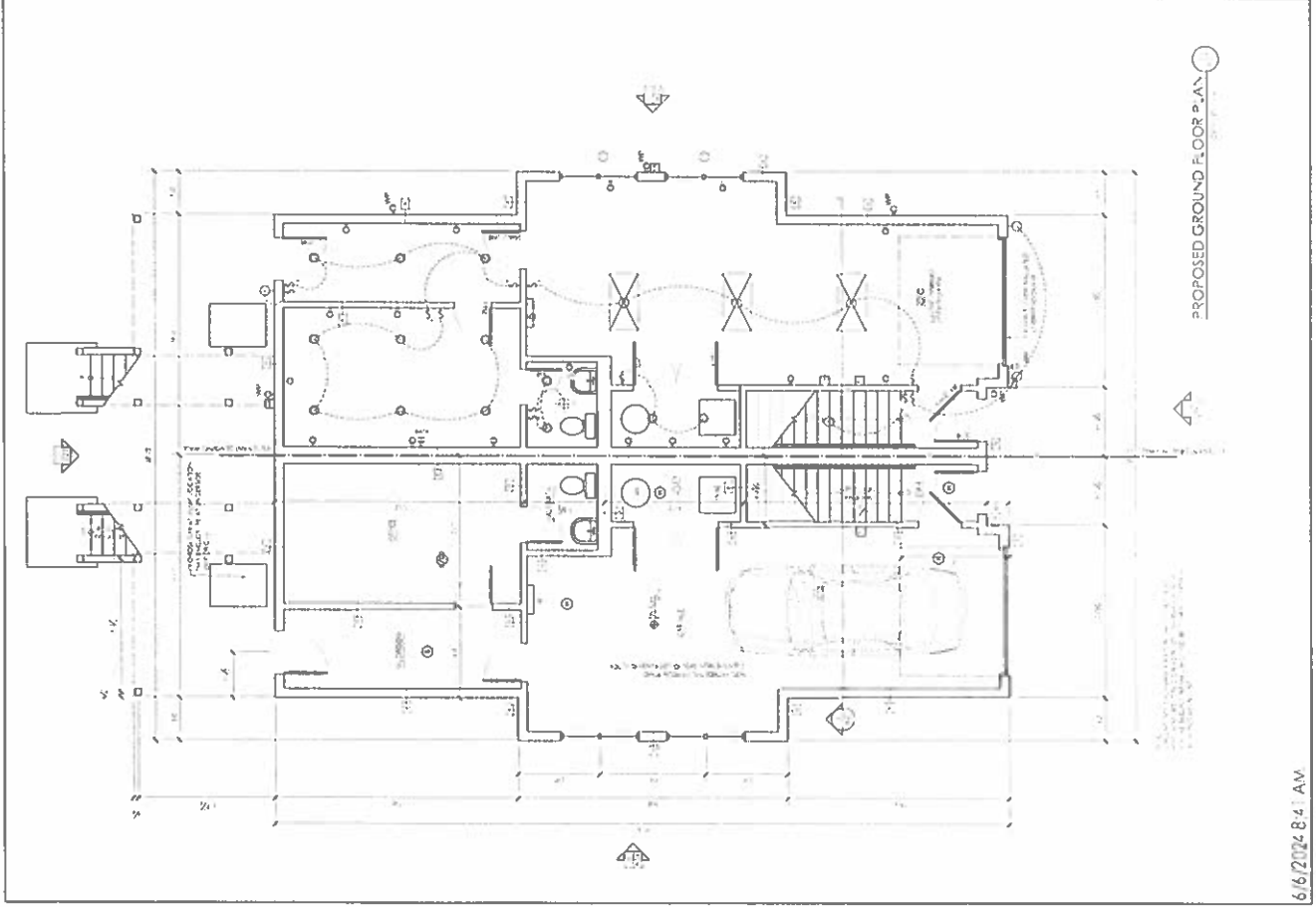
L400 Live Load Deflection			
Beam	Span	Deflection	Allowable Deflection
B1	12.0	0.12	0.12
B2	12.0	0.12	0.12
B3	12.0	0.12	0.12
B4	12.0	0.12	0.12
B5	12.0	0.12	0.12
B6	12.0	0.12	0.12
B7	12.0	0.12	0.12
B8	12.0	0.12	0.12
B9	12.0	0.12	0.12
B10	12.0	0.12	0.12
B11	12.0	0.12	0.12
B12	12.0	0.12	0.12
B13	12.0	0.12	0.12
B14	12.0	0.12	0.12
B15	12.0	0.12	0.12
B16	12.0	0.12	0.12
B17	12.0	0.12	0.12
B18	12.0	0.12	0.12
B19	12.0	0.12	0.12
B20	12.0	0.12	0.12
B21	12.0	0.12	0.12
B22	12.0	0.12	0.12
B23	12.0	0.12	0.12
B24	12.0	0.12	0.12
B25	12.0	0.12	0.12
B26	12.0	0.12	0.12
B27	12.0	0.12	0.12
B28	12.0	0.12	0.12
B29	12.0	0.12	0.12
B30	12.0	0.12	0.12

FIRE STOPPING
 PROVIDE FIRE STOPPING AT ALL PENETRATIONS THROUGH FLOOR JOISTS AND WALLS TO MAINTAIN FIRE RESISTANCE OF 1 HOUR. PROVIDE FIRE STOPPING AT ALL PENETRATIONS THROUGH FLOOR JOISTS AND WALLS TO MAINTAIN FIRE RESISTANCE OF 1 HOUR. PROVIDE FIRE STOPPING AT ALL PENETRATIONS THROUGH FLOOR JOISTS AND WALLS TO MAINTAIN FIRE RESISTANCE OF 1 HOUR.

NOTE
 ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FINISH SURFACES UNLESS OTHERWISE NOTED.

NOTE
 ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FINISH SURFACES UNLESS OTHERWISE NOTED.

DATE
 06/10/2024



6/10/2024 8:41 AM



ARCHITECTS
 1000 W. WISCONSIN AVENUE
 SUITE 200
 MILWAUKEE, WI 53233
 TEL: 414.224.1100
 FAX: 414.224.1101
 WWW.DIXONSAIDARCHITECTS.COM

PROJECT NO. 2024-001
 PROJECT NAME: [REDACTED]
 PROJECT ADDRESS: [REDACTED]

DATE: 06/15/2024
 DRAWN BY: [REDACTED]
 CHECKED BY: [REDACTED]
 PROJECT MANAGER: [REDACTED]

SCALE: AS SHOWN
 SHEET NO. A-1.1
 TOTAL SHEETS: 1.1

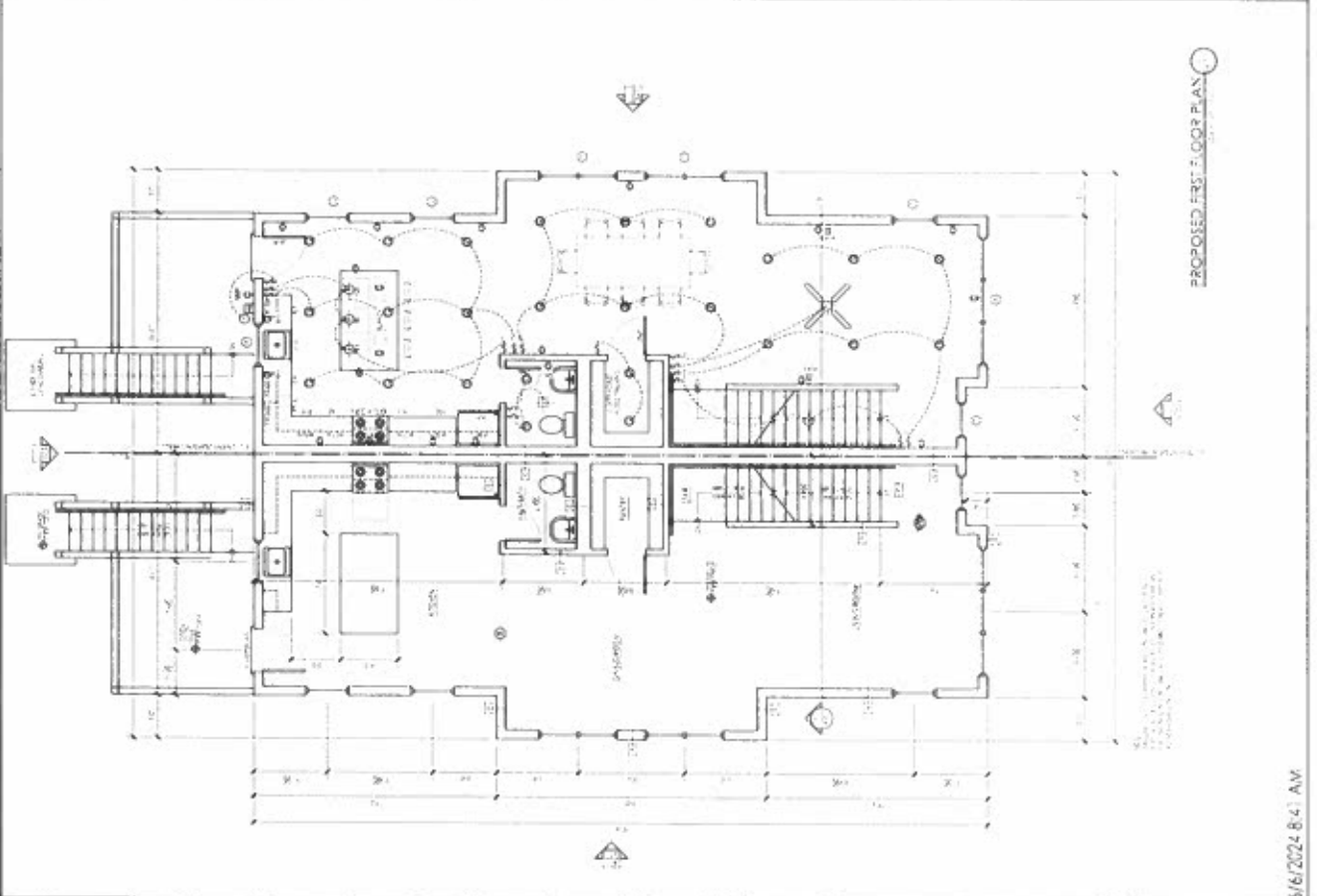
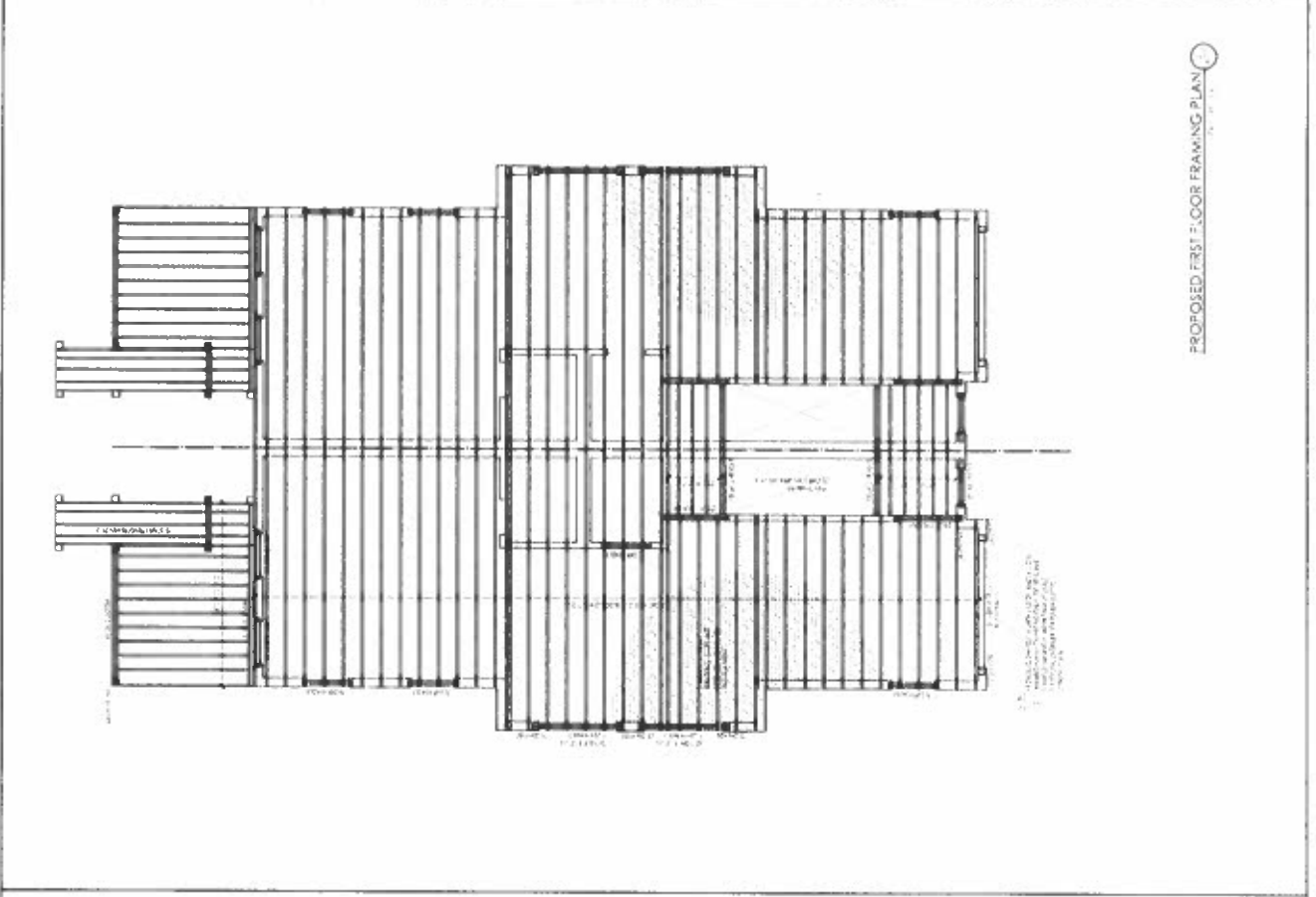
PROPOSED FIRST FLOOR FRAMING PLAN
 (SEE SECTION A-A)

DATE: 06/15/2024
 DRAWN BY: [REDACTED]
 CHECKED BY: [REDACTED]
 PROJECT MANAGER: [REDACTED]

SCALE: AS SHOWN
 SHEET NO. A-1.1
 TOTAL SHEETS: 1.1

PROPOSED FIRST FLOOR FRAMING PLAN
 (SEE SECTION A-A)

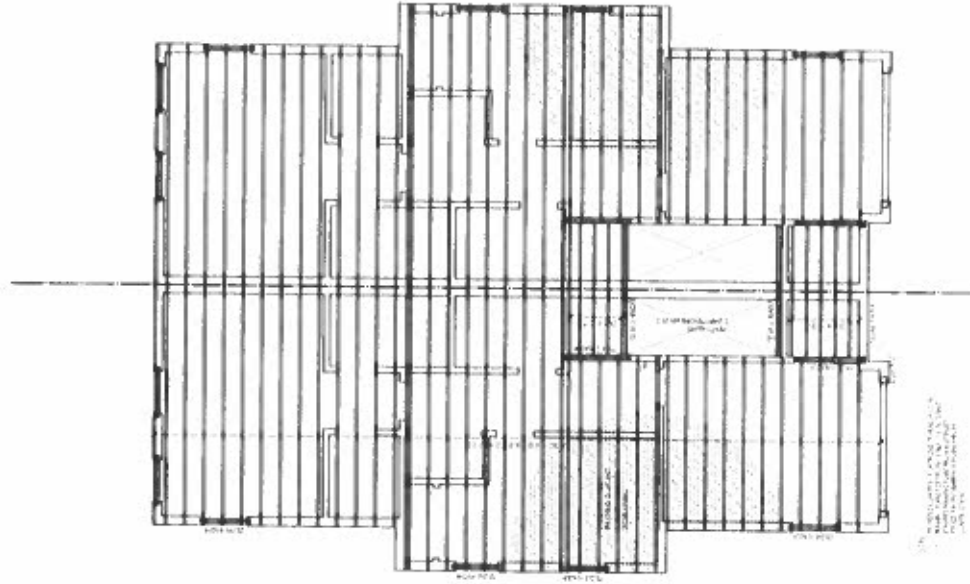
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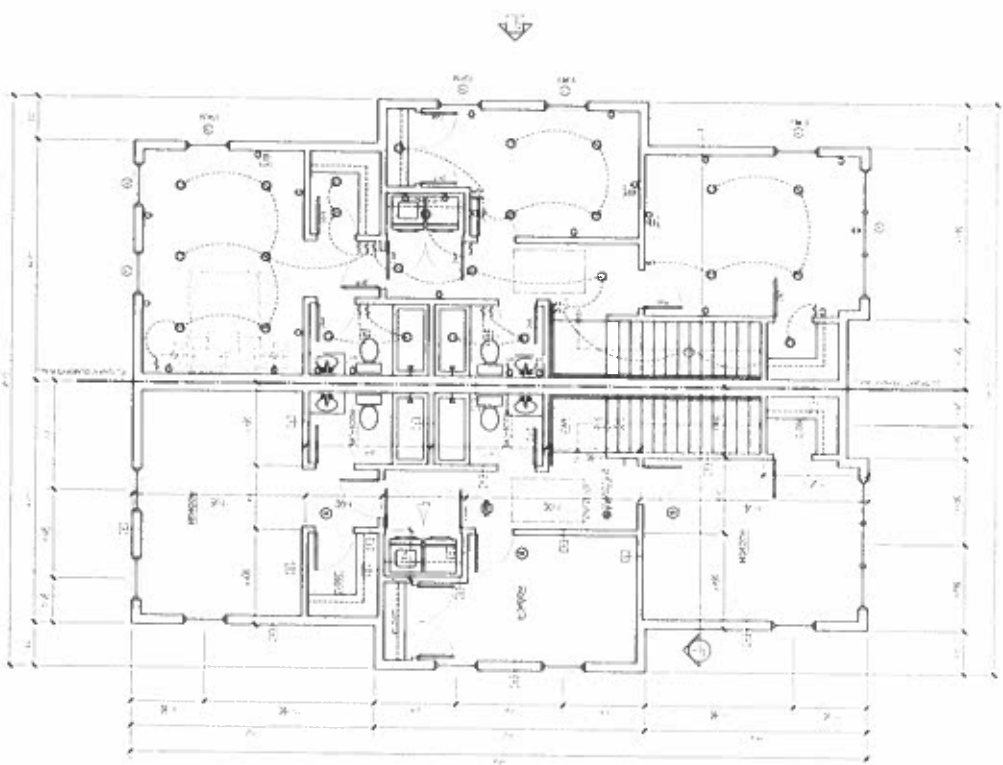
6/15/2024 8:41 AM



PROJECT:	PROJECT NO.:	DATE:	BY:	SCALE:	PROJECT NO.:	DATE:	BY:	SCALE:
NO. 1234567	1234567	12/12/2024	J.S.	1/8" = 1'-0"	1234567	12/12/2024	J.S.	1/8" = 1'-0"
OWNER:	DESIGNER:	DATE:	BY:	SCALE:	PROJECT NO.:	DATE:	BY:	SCALE:
ABC COMPANY	DIXON SALO ARCHITECTS	12/12/2024	J.S.	1/8" = 1'-0"	1234567	12/12/2024	J.S.	1/8" = 1'-0"
PROJECT:	PROJECT NO.:	DATE:	BY:	SCALE:	PROJECT NO.:	DATE:	BY:	SCALE:
PROPOSED SECOND FLOOR FRAMING PLAN	1234567	12/12/2024	J.S.	1/8" = 1'-0"	1234567	12/12/2024	J.S.	1/8" = 1'-0"
OWNER:	DESIGNER:	DATE:	BY:	SCALE:	PROJECT NO.:	DATE:	BY:	SCALE:
ABC COMPANY	DIXON SALO ARCHITECTS	12/12/2024	J.S.	1/8" = 1'-0"	1234567	12/12/2024	J.S.	1/8" = 1'-0"
PROJECT:	PROJECT NO.:	DATE:	BY:	SCALE:	PROJECT NO.:	DATE:	BY:	SCALE:
PROPOSED SECOND FLOOR FRAMING PLAN	1234567	12/12/2024	J.S.	1/8" = 1'-0"	1234567	12/12/2024	J.S.	1/8" = 1'-0"
OWNER:	DESIGNER:	DATE:	BY:	SCALE:	PROJECT NO.:	DATE:	BY:	SCALE:
ABC COMPANY	DIXON SALO ARCHITECTS	12/12/2024	J.S.	1/8" = 1'-0"	1234567	12/12/2024	J.S.	1/8" = 1'-0"

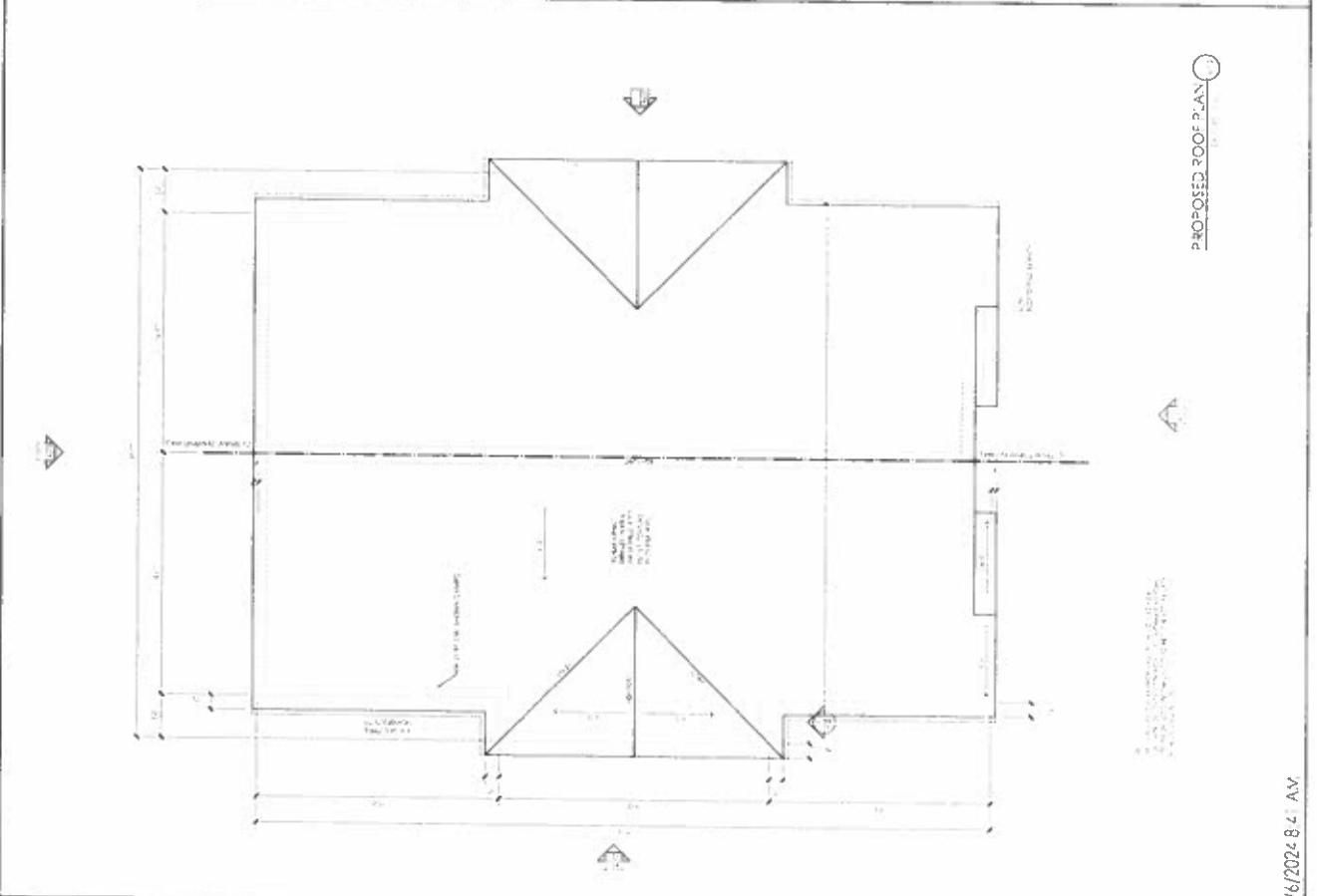
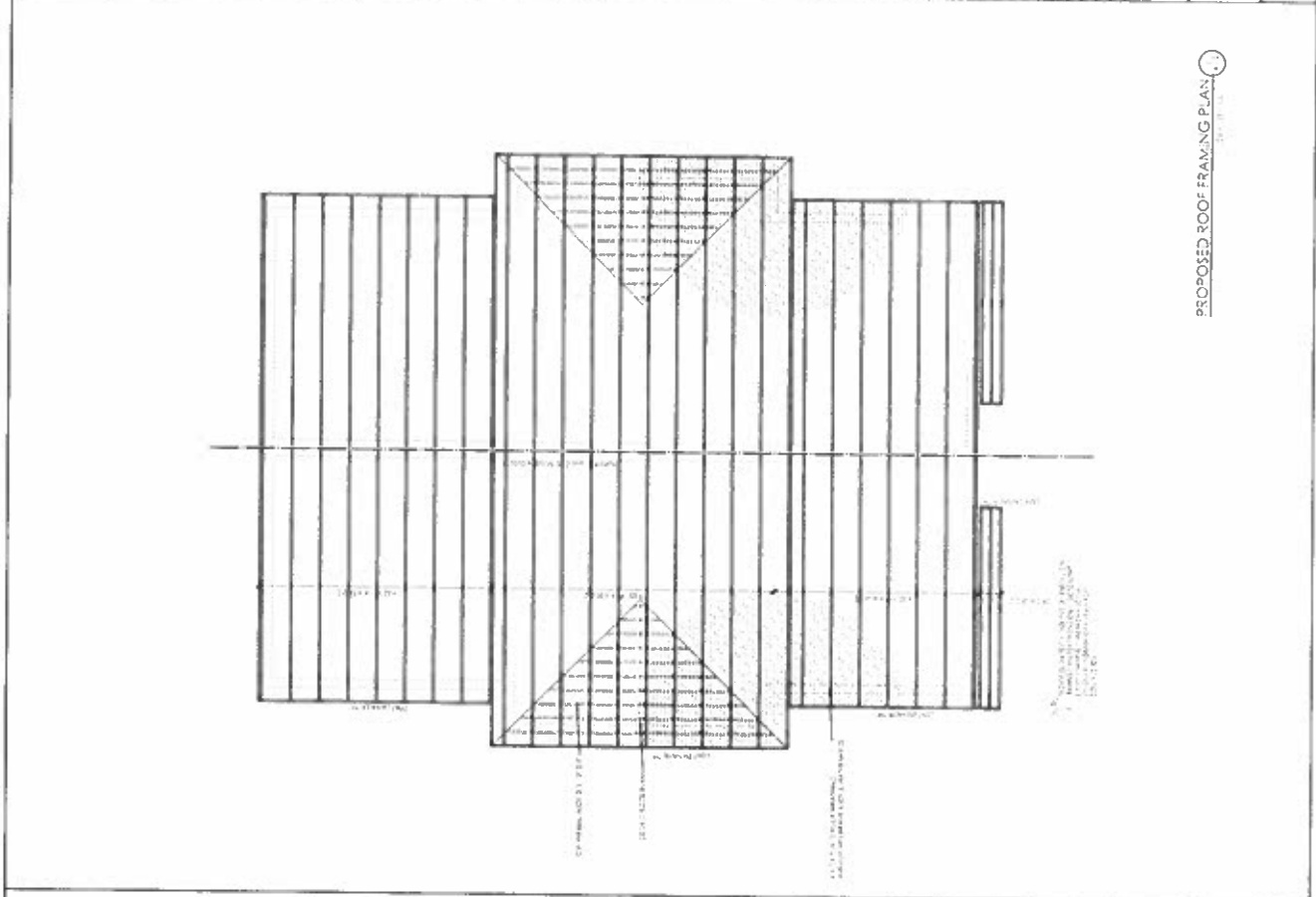


PROPOSED SECOND FLOOR FRAMING PLAN



PROPOSED SECOND FLOOR PLAN

 <p>DIXON SANG ARCHITECTS 1000 COMMERCIAL CENTER DRIVE SUITE 200 WORCESTER, MA 01609 TEL: 508-853-1100 FAX: 508-853-1101 WWW.DIXONSANG.COM</p>	PROJECT NO.	DATE	SCALE	PROJECT NAME	PROJECT LOCATION	PROJECT ARCHITECT	PROJECT ENGINEER	PROJECT CHECKER	PROJECT DATE
	ARCHITECT	ENGINEER	SCALE	PROJECT NAME	PROJECT LOCATION	PROJECT ARCHITECT	PROJECT ENGINEER	PROJECT CHECKER	PROJECT DATE



A-1.3

6/6/2024 8:41 AM



10000 North 1st Street, Suite 100
 Seattle, WA 98103
 Phone: 206.462.1234
 Fax: 206.462.1235
 Website: www.dixon-salo.com

PROJECT NAME
 PROJECT NUMBER

PROJECT LOCATION
 PROJECT DESCRIPTION

ARCHITECT
 PROJECT MANAGER
 DESIGNER

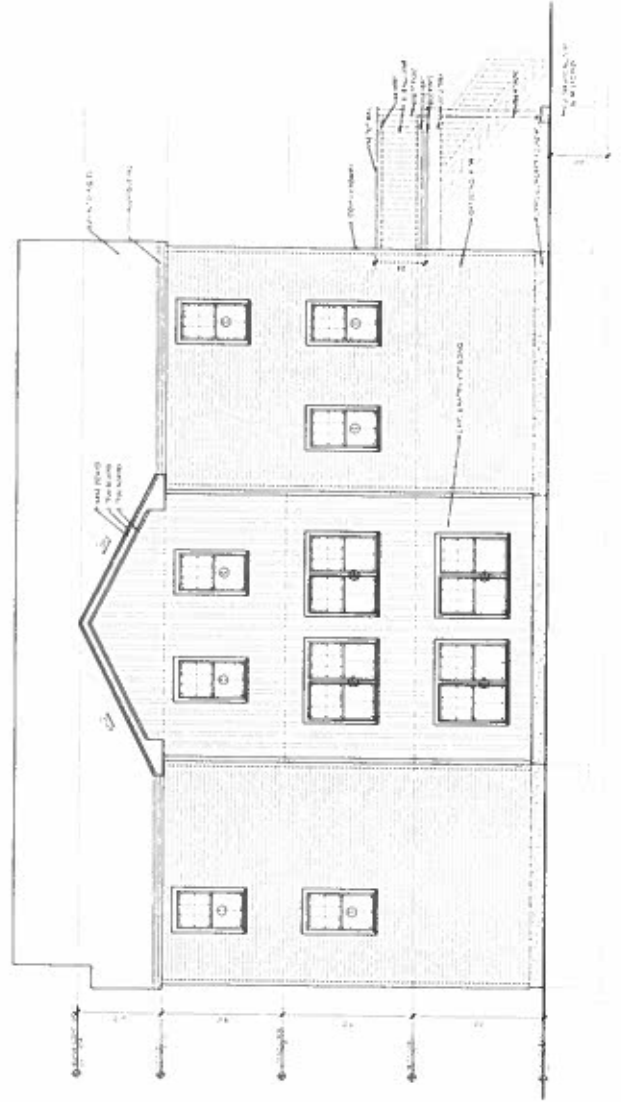
DATE
 SCALE
 SHEET NO.
 TOTAL SHEETS

PROJECT NO.
 DRAWING NO.
 SHEET NO.

PROJECT LOCATION
 PROJECT DESCRIPTION

PROJECT NO.
 DRAWING NO.
 SHEET NO.

A-2.2



PROPOSED RIGHT SIDE ELEVATION



ARCHITECTS

PROJECT

COURTSHIP

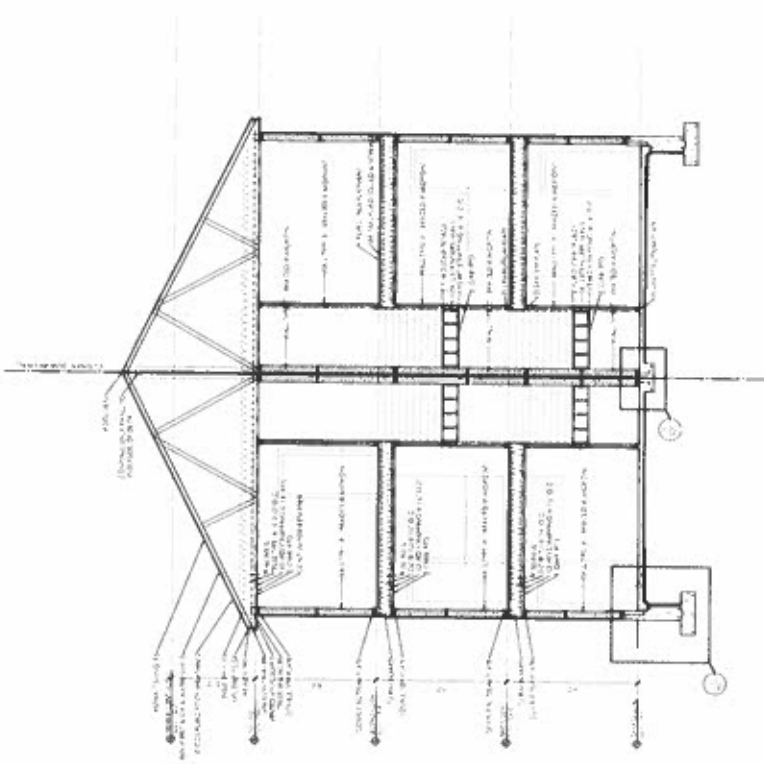
LOCATION: WASHINGTON

DATE: 08/20/24
 SCALE: AS SHOWN
 PROJECT: [blank]
 DRAWN: [blank]
 CHECKED: [blank]

PROJECT:
 6. CARPENTER
 WASHINGTON, VA 22024

DATE: 08/20/24
 SCALE: AS SHOWN
 PROJECT: [blank]
 DRAWN: [blank]
 CHECKED: [blank]

A-3.1



PROPOSED BUILDING SECTION

**City of Worcester
Department of Inspectional Services
Zoning Determination Form**

To obtain a building permit, you are required to file the following Board application(s):

Property Address:

16 Carver Street (Lot 130)

Zoning District: RL-7

Planning Board (indicate all that apply)

Site Plan (circle all that apply):

Preliminary _____ Definitive _____

Trigger(s)¹: (circle all that apply) _____

15% Slope Lodging Historical
WRP # of Units GFA
Subdivision Flood Plain¹
Special Permit related

Parking Plan:

of Spaces _____

Special Permits (circle all that apply)¹

AROD FPOD CCRC
WRP MU Cluster CCOD
Common Drive AHDB AOD

Other Filings (either Board)

- Amendment _____
- Administrative Appeal
- Extension of Time
- Comprehensive Permit
- Other Frontage Subdivision

Zoning Board of Appeals (indicate all that apply)

Variance(s) (indicate relief needed for all that apply)

Dimension	Requirement	Provided	Relief Requested
Gross Area (SF)	9,000	5,000	4,000
Frontage (ft.)	75	50	25
Setback (ft.)	Front		
	Side	8.0	3.8
	Exterior Side		
	Rear		
Height (ft.)			
Floor to Area Ratio			

Parking (spaces)	6	3	3
Landscaping			
Other			

Applicable Section of Zoning Ordinance

Article: II
Section: 6
Paragraph: A3

Special Permit (circle all that apply):

Expansion/Change of pre-existing nonconforming

Structure Use

Non-Residential/Residential Conversion

Other Special Permit

Modification Landscaping Requirements- Off-street parking

Department of Inspectional Services

Authorized Signature Required TM DJH DC

Todd Miller

1 AOD= Arts Overlay District, AHDB=Affordable Housing, AROD=Adaptive Reuse Overlay District, CCRC=Continuing Care Retirement Community, FPOD = Flexible Parking, FP Flood Plain, MU= Mixed Use WRP=Water Resources Protection.

**City of Worcester
Department of Inspectional Services
Zoning Determination Form**

To obtain a building permit, you are required to file the following Board application(s):

Property Address:

16 Carver Street (Lot 129A)

Zoning District: RL-7

Planning Board (indicate all that apply)

Site Plan (circle all that apply):

Preliminary Definitive

Trigger(s)¹: (circle all that apply)

15% Slope Lodging Historical
WRP # of Units GFA
Subdivision Flood Plain¹
Special Permit related

Parking Plan:

of Spaces _____

Special Permits (circle all that apply)¹

AROD FPOD CCRC
WRP MU Cluster CCOD
Common Drive AHDB AOD

Other Filings (either Board)

- Amendment _____
- Administrative Appeal
- Extension of Time
- Comprehensive Permit
- Other Frontage Subdivision

Zoning Board of Appeals (indicate all that apply)

Variance(s) (indicate relief needed for all that apply)

Dimension	Requirement	Provided	Relief Requested
Gross Area (SF)	4,000	2,500	1,500
Frontage (ft.)	35	25	10
Setback (ft.)	Front		
	Side	8.0	5.0
	Exterior Side		
	Rear		
Height (ft.)			
Floor to Area Ratio			

Parking (spaces)			
Landscaping			
Other			

Applicable Section of Zoning Ordinance

Article: II
Section: 6
Paragraph: A3

Special Permit (circle all that apply):

Expansion/Change of pre-existing nonconforming
Structure Use

Non-Residential/Residential Conversion

Other Special Permit

Modification Landscaping Requirements- Off-street parking

Department of Inspectional Services

Authorized Signature Required TM DJH DC

Todd Miller

¹ AOD= Arts Overlay District, AHDB=Affordable Housing, AROD=Adaptive Reuse Overlay District, CCRC=Continuing Care Retirement Community, FPOD = Flexible Parking, FP Flood Plain, MU= Mixed Use WRP=Water Resources Protection.

**City of Worcester
Department of Inspectional Services
Zoning Determination Form**

To obtain a building permit, you are required to file the following Board application(s):

Property Address:

16 Carver Street (Lot 129B)

Zoning District: RL-7

Planning Board (indicate all that apply)

Site Plan (circle all that apply):

Preliminary _____ Definitive _____

Trigger(s) ¹: (circle all that apply)

15% Slope _____ Lodging _____ Historical _____

WRP _____ # of Units _____ GFA _____

Subdivision _____ Flood Plainⁱ _____

Special Permit related _____

Parking Plan:

of Spaces _____

Special Permits (circle all that apply)¹

AROD _____ FPOD _____ CCRC _____

WRP _____ MU _____ Cluster _____ CCOD _____

Common Drive _____ AHDB _____ AOD _____

Other Filings (either Board)

- Amendment _____
- Administrative Appeal _____
- Extension of Time _____
- Comprehensive Permit _____
- Other Frontage Subdivision

Zoning Board of Appeals (indicate all that apply)

Variance(s) (indicate relief needed for all that apply)

Dimension	Requirement	Provided	Relief Requested
Gross Area (SF)	4,000	2,500	1,500
Frontage (ft.)	35	25	10
Setback (ft.)	Front		
	Side	8.0	5.0
	Exterior Side		
	Rear		
Height (ft.)			
Floor to Area Ratio			

Parking (spaces)			
Landscaping			
Other			

Applicable Section of Zoning Ordinance

Article: II
 Section: 6
 Paragraph: A3

Special Permit (circle all that apply):

Expansion/Change of pre-existing nonconforming Structure _____ Use _____

Non-Residential/Residential Conversion _____

Other Special Permit _____

Modification Landscaping Requirements- Off-street parking

Department of Inspectional Services

Authorized Signature Required _____ TM _____ DJH _____ DC _____

Todd Miller

¹ AOD= Arts Overlay District, AHDB=Affordable Housing, AROD=Adaptive Reuse Overlay District, CCRC=Continuing Care Retirement Community, FPOD = Flexible Parking, FP Flood Plain, MU= Mixed Use WRP=Water Resources Protection.